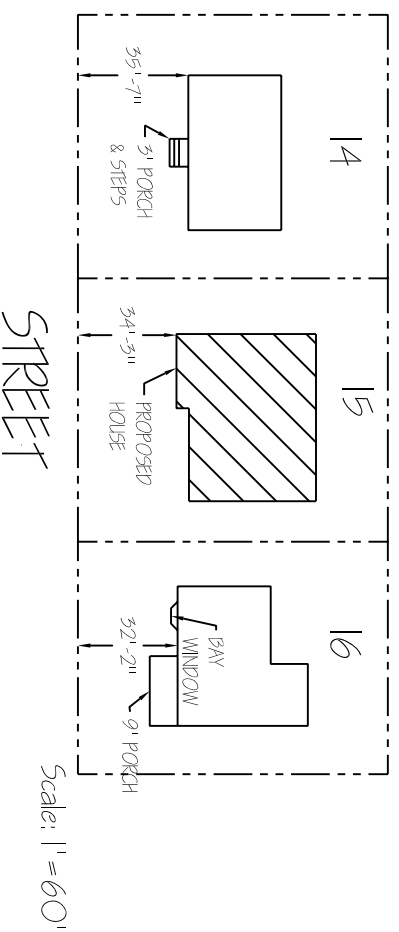


# ESTABLISHED BUILDING LINE-Method 2



Established Bldg. Line Calculation

for new house on Lot 15:

Lot 14 35' 7" or 35.58'

Lot 15 not included, subject property

Lot 16 32' 2" or 32.16'

TOTAL = 67' 9" or 67.74' divided

by 2 lots = 33.87' is EBL

WHEN ESTABLISHED BUILDING LINE IS REQUIRED:

In R-60, R-90, R-150, R-200 standard method zones;

All new construction of houses or main buildings,

Corner lots have EBL's on both streets, see EBL-Method 4.

INCLUDE IN CALCULATION:

The average setback of the 2 adjoining lots,

Houses are within 300' of side property lines of subject property, measured along street frontage,

Between intersecting streets and within the same block,

House exists or new house is approved by a permit, at time permit application is filed.

Measure the distance between front property line and foundation wall of house or any cantilevered second story.

EXCLUDE FROM CALCULATION:

Subject property,

Through lots, if house fronts on a street other than the street fronting the subject property,

Pipestem, flag-shaped, wedge-shaped or lots not meeting minimum lot width at minimum front setback.

Lots in R-200 zone that are or were ever served by well or septic.