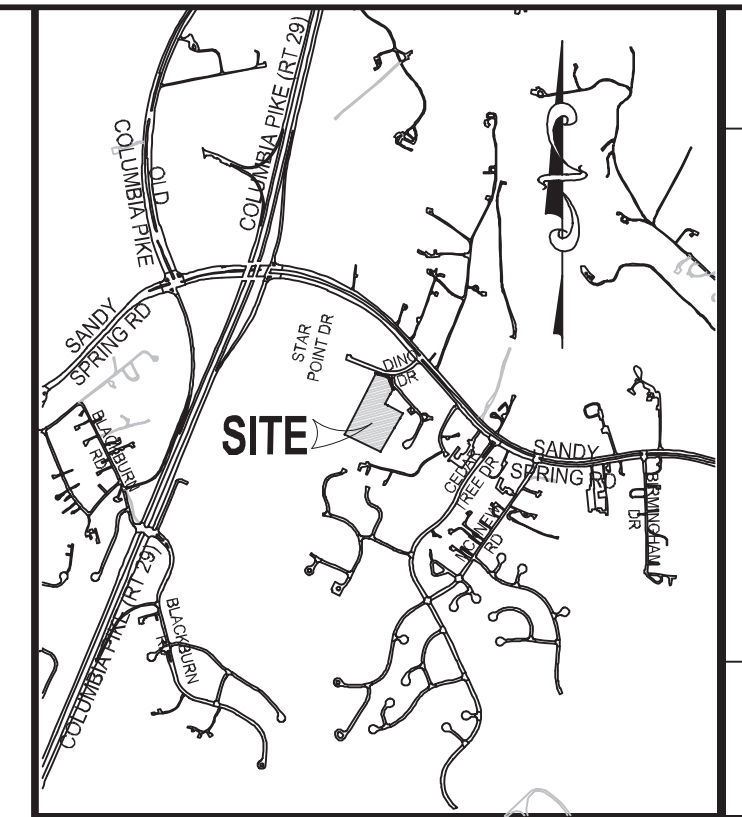


BROOKSTONE SENIOR LIVING

COMBINED CONCEPT / SITE DEVELOPMENT STORMWATER MANAGEMENT PLAN SENIOR HOUSING RESIDENTIAL FACILITY

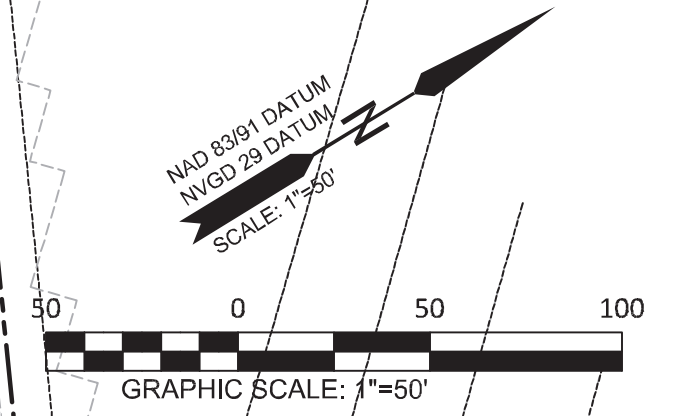
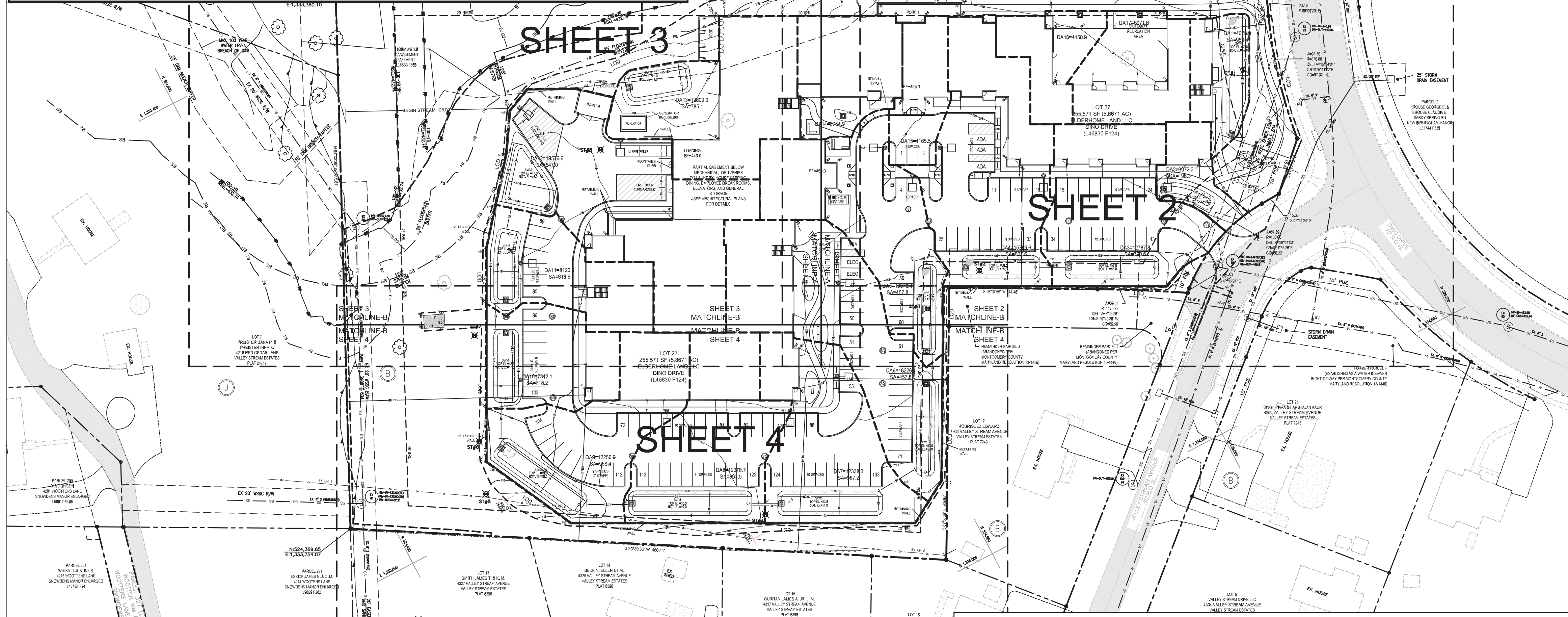
SHEET INDEX

No.	DESCRIPTION
10 OF 20	COMBINED CONCEPT / SITE DEVELOPMENT STORMWATER MANAGEMENT PLAN - COVER SHEET
11 OF 20	STORMWATER MANAGEMENT CONCEPT PLAN - SHEET 2 (20 SCALE)
12 OF 20	STORMWATER MANAGEMENT CONCEPT PLAN - SHEET 3 (20 SCALE)
13 OF 20	STORMWATER MANAGEMENT CONCEPT PLAN - SHEET 4 (20 SCALE)
14 OF 20	STORMWATER MANAGEMENT CONCEPT DETAILS



SWM Concept Summary Table: Each line must be completed. Place table on the first sheet with initial submission.
Contact Information for Design Engineer (for technical issues): DEAN PACKARD

General Property Information:
 SM# 288605
 Type of Concept: COMBINED CONCEPT / SITE DEVELOPMENT STORMWATER MANAGEMENT PLAN
 MNC&PC Process/No: CONDITIONAL USE PLAN #TBD
 Property Address: 0 DINO DRIVE, BURTONSVILLE, MD 20866
 Property Legal Description: VALLEY STREAM ESTATES BLOCK B, Outlot A (future Lot 27)
 Property Size (ac./sq.ft.): 5.87 AC / 255,571 SF
 Total Concept Area (ac./sq.ft.): 4.48 AC / 195,260.5 SF
 Zoning: R-200
 Watershed(s) and Stream Class: LITTLE PAINT BRANCH / CLASS 1
 Special Protection Area: N/A
 100 YR Floodplain: N/A
 Ex. % impervious/Redevelopment or New Development: 0.0% / NEW DEVELOPMENT
SWM Summary: If more than one study point or lot, provide information for each
 Target P_i/Proposed P_c: 1.8 IN / 1.80 INCHES
 Target ESDv/Provided ESDv: 18,427.1 CF / 18,436.7 CF
 ESD Measures: MICRO-BIORETENTION (1.3)
 Structural Storage Required/Provided: N/A
 Structural Measures: N/A
 Waiver Request/QL/QN/Both: NO
 Provided ESDv + Structural Storage Provided + Requested to be Waived = 18,436.7 CF
 Other Information: Micro-bioretenion facilities will drain to an on-site storm drainage system which outfall to an Unnamed Tributary at the rear of the property. The Unnamed Tributary bypasses DEP Asset #23148. The remainder of the property will continue to drain to DEP Asset #23148.



GENERAL NOTES

- SITE ADDRESS IS 0 DINO DRIVE, BURTONSVILLE, MD 20866
- TAX ID. NUMBERS: 05-03552453
- PLAT REFERENCE: PLATS: 23347
- DEED REFERENCE: LIBER 46830 FOLIO 124.
- SITE IS LOCATED ON TAX MAP KS-661, BLOCK B, OUTLOT A.
- SITE IS LOCATED ON WSSC 200 SHEET No. 220-NE-04 AND 220-NE-05.
- EXISTING WATER AND SEWER CATEGORY IS W-1 & S-1.
- SITE HAS EXISTING WATER AND SEWER AVAILABLE.
- EXISTING ZONING IS R-200.
- EXISTING SOILS ARE:
 57B, CHILLUM SILT LOAM, 3-8% SLOPES,
 57C, CHILLUM SILT LOAM, 8-15% SLOPES,
 57D, CHILLUM SILT LOAM, 15-25% SLOPES, AND
 59B, BELTSVILLE SILT LOAM, 3-8% SLOPES
- BOUNDARY SHOWN FROM SURVEY PREPARED BY PACKARD & ASSOCIATES, LLC DATED FEBRUARY 28, 2022.
- SITE TOPOGRAPHY BY FIELD SURVEY BY PACKARD & ASSOCIATES, LLC, FEBRUARY 28, 2022. SURROUNDING INFORMATION FROM AERIAL GIS DATA.
- WATERSHED: LITTLE PAINT BRANCH CLASS 1.
- THERE ARE NO FLOODPLAIN OR WETLANDS ON THIS SITE, PER FEMA FIRM PANEL 24031C0385D DATED 09/29/2006
- UTILITY COMPANIES:
 ELECTRIC: BALTIMORE GAS AND ELECTRIC
 WATER & SEWER: WSSC
 TELEPHONE: VERIZON
 CATV: COMCAST
- OWNER / APPLICANT: ELDERHOME LAND LLC
 P.O. BOX 310, ASHTON, MD 20861
 CONTACT: THOMAS NORRIS (301) 675-1525
 EMAIL: TNORRIS@TLGROUP1.COM
 TRACT AREA:
 OUTLOT A - 255.571 S.F. OR 5.867 AC.

SITE DATA

GROSS TRACT AREA	= 255.571 S.F. / 5.867 ACRES
DEDICATION TO PUBLIC USE	= 0.0 S.F. / 0.0 ACRES
BUILDING & PORCHES	= 64,158.8 S.F. / 1.473 ACRES
DRIVEWAY & PARKING	= 50,162.7 S.F. / 1.152 ACRES
OPEN SPACE	= 141,249.5 S.F. / 3.243 ACRES

SOIL DATA

SYMBOL	DESCRIPTION	PRIME FARMLAND	HIGHLY ERODIBLE	HYDRIC	HSG
57B	CHILLUM SILT LOAM 3-8% SLOPES	YES	NO	NO	B
57C	CHILLUM SILT LOAM 8-15% SLOPES	YES	NO	NO	B
57D	CHILLUM SILT LOAM 15-25% SLOPES	NO	YES	NO	B
59B	BELTSVILLE SILT LOAM 3-8% SLOPES	YES	NO	NO	C

NOTE

- UNLESS SPECIFICALLY NOTED ON THIS PLAN DRAWING OR IN THE PLANNING BOARD CONDITIONS OF APPROVAL, THE BUILDING FOOTPRINTS, BUILDING HEIGHTS, ON-SITE PARKING, SITE CIRCULATION, AND SIDEWALKS SHOWN ON THE PRELIMINARY PLAN ARE ILLUSTRATIVE.
- THE FINAL LOCATIONS OF BUILDINGS, STRUCTURES AND HARDSCAPE WILL BE DETERMINED AT THE TIME OF ISSUANCE OF BUILDING PERMIT(S).
- PLEASE REFER TO THE ZONING DATA TABLE FOR DEVELOPMENT STANDARDS SUCH AS SETBACKS, BUILDING RESTRICTION LINES, BUILDING HEIGHT, AND LOT COVERAGE FOR EACH LOT.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE No. 16518, EXPIRATION DATE: 06/10/2023.

Dean Packard
 DEAN PACKARD, P.E. 05/19/23
 DATE

SWM Concept Approved
 Sheryl Mitchell
 05/31/2023

SITE DEVELOPMENT STORMWATER MANAGEMENT SUMMARY (M-3 MICRO-BIORETENTION)

LOT #	PRACTICE	BOTTOM AREA SF (AC)	MIDWAY AREA SF	WEIR AREA SF	DEPTH FT	TOP OF STONE FT	DRAINAGE AREA SF (AC)	IMPERVIOUS AREA SF (AC)	MAXIMUM ESDv CF	ESDv PROVIDED CF	Pe PROVIDED
27	MB #1	959.4	1105.5	1255.3	4.0	452.0	15509.3 (0.356)	12003.0	2508.6	2088.2	2.18
	MB #2	(0.022)	259.8	326.7	3.0	456.0	3072.3 (0.071)	(0.276)	341.5	341.5	2.60
	MB #3	196.3	907.0	1027.0	4.0	455.0	12787.8 (0.294)	1580.7	1881.3	1719.0	2.38
	MB #4	(0.005)	735.0	835.8	4.0	455.0	19955.1 (0.468)	(0.036)	3403.4	1388.2	1.06
	MB #5	(0.018)	790.6	609.2	4.0	453.0	19831.3 (0.455)	(0.205)	8937.3	3140.6	1109.8
	MB #6	637.6	1097.9	1232.2	3.0	451.0	16226.1 (0.373)	16344.7	2401.9	1186.3	1.28
	MB #7	(0.015)	903.0	1350.6	3.0	449.0	12338.3 (0.283)	(0.375)	8937.3	1531.8	2.60
	MB #8	(0.012)	1085.8	1218.8	3.0	448.0	12378.7 (0.284)	15003.7	1821.9	1821.9	2.60
	MB #9	537.8	747.6	845.6	3.0	447.0	12256.9 (0.281)	11416.2	1514.8	1514.8	2.60
	MB #10	(0.012)	751.5	849.9	4.0	446.0	7342.1 (0.169)	(0.262)	987.9	987.9	2.60
	MB #11	967.2	963.3	1061.6	4.0	446.0	8120.9 (0.186)	7169.8	1181.3	1181.3	2.60
	MB #12	(0.022)	875.3	969.0	4.0	444.0	19576.6 (0.449)	(0.165)	3300.4	1871.7	1.47
	MB #13	(0.026)	956.4	956.4	4.0	444.0	12609.9 (0.289)	19576.6 (0.449)	1714.6	1694.3	2.57
* COMPENSATION PROVIDED FOR WITHIN THE TOTAL ESDv STORAGE PROVIDED.									7087.3	18436.7	1.80

Exhibit 29 (a)
 OZAH Case No: CU 23-12

MISS UTILITY
 CALL "MISS UTILITY" AT 1-800-257-777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

PACKARD & ASSOCIATES LLC.
 CIVIL ENGINEERS * SURVEYORS * LAND PLANNERS
 16220 FREDERICK ROAD, SUITE 300
 GAITHERSBURG, MARYLAND 20877
 PHONE (301) 208-0250 FAX (301) 208-1270



COMBINED CONCEPT / SITE DEVELOPMENT
 STORMWATER MANAGEMENT PLAN - COVER SHEET
 CONDITIONAL USE
 BROOKSTONE SENIOR LIVING
 LOT 27, BLOCK B, VALLEY STREAM ESTATES
 RECORDED IN LIBER 46830 AT FOLIO 124
 BURTONSVILLE ELECTION DISTRICT No. 5 MONTGOMERY COUNTY, MARYLAND

OWNER: ELDERHOME LAND, LLC
 P.O. BOX 310 ASHTON, MD 20861
 SCALE: 1"=50'
 DRAWN: PW
 CHECKED: DP
 DATE: 05/19/23
 ACAD FILE NAME:
 JOB NO.
 DRAWING NO. SHEET 10 OF 20