

CONDITIONAL USE PLAN CLARKSBURG TOWN CENTER WEIS GAS PUMPS

DEVELOPMENT STANDARDS - CRT ZONE (Commercial Residential Town)

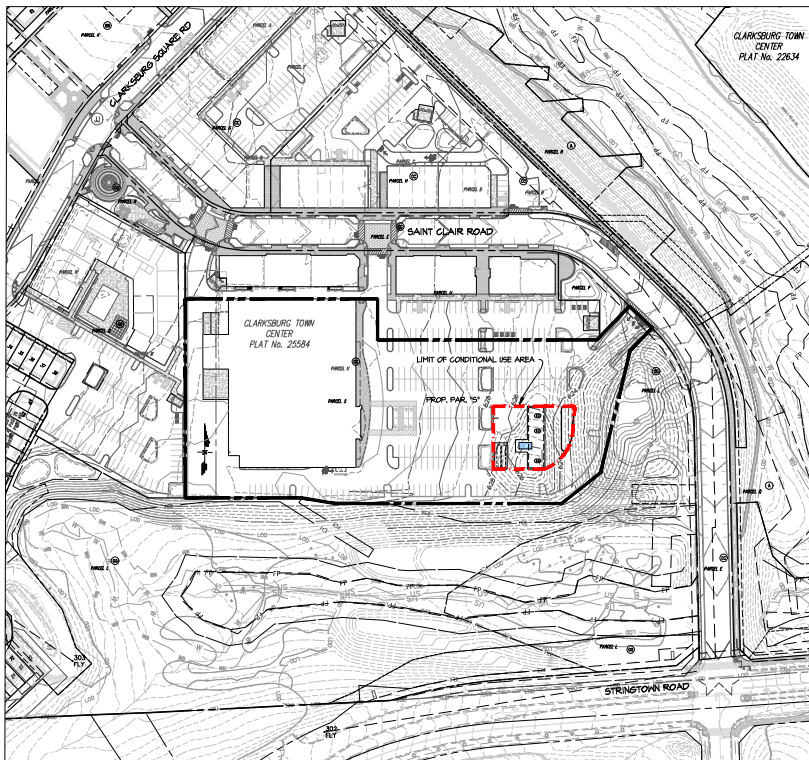
Development Standards	Allowed (Per Sec. 45.2)	Proposed
FAR (Per Area Ratio)	0.50 FAR (4,100 SF)	0.25 FAR (500 SF)
Non-residential	0.25 FAR (2,050 SF)	0.25 FAR (500 SF)
Residential	0.15 FAR (1,225 SF)	0.25 FAR (500 SF)
TOTAL FAR:	0.25 FAR (2,050 SF)	0.25 FAR (500 SF)
MPDs	12.5% (6 DU)	N/A
Building Type	T, M, A or 6	6 - General Building Type
Building Height	35' max.	0'
Open Space	10% min.	12.52 SF Public Open Space (0.2%)
Lot Coverage	N/A	N/A
Minimum Lot Area	Commercial: N/A	Commercial: N/A
Principal Building Setbacks (min.)	Commercial: Front: 0' min. Side (all other): 0' min. Rear (all other): 0' min. Rear (alley): 4' min.	Commercial: Front: 0' Side: 0' Rear: 0'
Fronting Setbacks for Surface Parking Lots	Must be behind Front Building Line	Behind Front Building Line (Parking on opposite side of drive way)
Billboard Areas* (Max. setback 4 min. % of building facade)	Commercial: Front: 20' max. Side Street BTA: 30' max.	N/A - P/B, Modification N/A - P/B, Modification N/A - P/B, Modification
Transparency* (Per Wall Facing a Street or Open Space)	Commercial: Ground Story: 40% min. Ground Story, Side/Rear: 25% min. Upper Story: 20% min. Blank Wall - Front (max.): 30' max. Blank Wall - Side/Rear (max.): 30' max.	40% min. (See Arch. Plans) 25% min. (See Arch. Plans) N/A - One story building 30' max. (See Arch. Plans) 30' max. (See Arch. Plans)
Building Orientation*	Required	Build. Faces Drive Isle
Open Space	Required	Build. Faces Drive Isle

Section 45.5(c) - Filing Station

Section	Allowed/Required	Proposed
a. Access	Access to the site from a street with a residential classification is prohibited.	Proposed site access to St. Clair Drive (Private), not classified as residential road.
b. Site Lighting	Site lighting is a maximum of 0.1 footcandles on the lot for the abutting residential zone.	N/A. Site does not abut residential zone.
c. Gas Volume	Gas filling station dispensing a maximum of 50 million gallons per year per lot is located at least 500 feet from the front of abutting residential zone. Gas filling stations are prohibited near any railroad, street, river, road, park, or environmentally sensitive area.	N/A. Site does not dispense less than 50 million gallons per year.
d. Product display	Product display, partial vehicles, and other operations that obstruct views, visibility at intersections or station driveway are prohibited.	Complies. No display or other operations at intersection or station driveway.
e. Driveway	New use occupies a corner lot, driveway must be wider than 20 feet and the intersection and does not exceed 30' x width.	N/A. Site is not on a corner lot.
f. Access Ways	Each driveway or other accessway is not less than 10' wide and perpendicular to the curb or street line. All other uses shall be contained within the building.	Complies. Driveways are 10' wide and perpendicular to the curb.
g. Driveway	There must be a minimum of 20 feet between driveway, and driveway must be perpendicular to the curb or street line.	Complies. Driveways are further than 20 feet to St. Clair Drive and perpendicular to the curb.
h. Vehicle Parking	No vehicle parking that overhangs the public right-of-way.	Complies. No vehicle parking overhang right-of-way.
i. Car Wash	Standards per Section 45.5(d)(2)	N/A - No car wash proposed.
j. Adequate Parking	There must be adequate parking for all uses.	Complies. Site meets the required parking standards for all uses proposed on-site. (See chart)

Parking

Proposed Development	Required	Proposed
Filing Station (500 SF)	0 (N/A)	0
Total Commercial Parking Required	0 (N/A)	0
Total Commercial Parking Provided	0 (N/A)	0
* Parking calculated pursuant to T11.03(d) of the Zoning Ordinance in effect after October 30, 2014, which allows grand-fathered plans to reduce parking requirements of a previously approved plan to a number that satisfies the parking requirements of the current Zoning Ordinance.		
Handicap Parking	0% of total parking provided	1 Sp.
Non-Accessible Handicap Parking	0 Sp. / 10 Sp.	1 Sp.
Electric Vehicle Charging	N/A	N/A
Motorcycle Parking	0 Sp. / 10 Sp.	N/A
Car Share Spacing	0 Sp. / 50-140 Sp. + 1 Sp. per 100 Sp.	N/A
Bicycle Parking	0 Sp. / 10 Sp.	N/A
Recall & Restaurant (500 SF)	N/A	N/A
Total Bicycle Spacing	0 Sp. / 100 Sp.	N/A
Short Term (Public)	N/A	N/A
Long Term (Private)	N/A	N/A



KEY MAP
SCALE: 1"=100'

Before You Dig Call

"MISS UTILITY"
Service Protection Center

MEMBER
800-4-A-UTILITY
SERVICE SYSTEMS INTERNATIONAL

CALL TOLL FREE
1-800-257-7777

VICINITY MAP
SCALE: 1" = 2,000'

General Notes

- Owner/Applicant: CTC Retail, L.C., c/o Elm Street Development, 1000 S. Second Street, Sunbury, PA 17201
- Co-Applicant: Weis Markets, Inc. (A Pennsylvania Corporation), 1000 S. Second Street, Sunbury, PA 17201
- The site will be served by existing public water and sewer. Existing water and sewer collection is 18" x 18" x 3'.
- The entire portion of the site within the CRT zone is located in the Little Seneca Creek watershed (Special Protection Area) and a portion of the site within the RDT zone is in the Little Bennett Creek watershed.
- Natural Resources Inventory Map # Forest Stand Delimitation (No. 4-4462 approved 4/28/1994).
- The boundary shown hereon is based on GCP provided CAD, recorded Plat of Subdivision, and comparison sheets by other surveys. The geographic information for the subject property was prepared by GCP from field survey information by GCP 2005 - 2024.
- Building restriction lines (BRL) may encroach into the Public Utility Easements (PUE), the more restrictive of the two would apply to the setbacks. Buildings can not encroach into the PUE.
- See approved storm water management plans for SWM and sediment control requirements. Any variations of on-site requirements will not require an amendment. See SWM plans for SWM Infrastructure details.
- Any changes required by ADA or fair housing will not require a site plan amendment, as determined by the director or their designee.
- There are no known rare, threatened or endangered species on site.
- There are no known historic features on site.
- There are no known trees on the subject property that are county and/or state champion trees. There are no trees on the property that have a DBH of 78% or more of the current county and/or state champion tree.
- The building footprints show including all units, driveways, and walkways on the site plan are illustrative. Final building locations will be determined during the building permit process. Please refer to the zoning code table for development standards such as setbacks, building restriction lines and lot coverage for each lot. Other limitations for site development may also be included in the conditions of the planning board's approval.
- An on-site pre-construction meeting is required to be set up with the Department of Permitting Services (DPS), Zoning Site Plan Enforcement Division before any building construction activity occurs on-site. The owner or the designee who has signature authority and general contractor must attend the pre-construction meeting with the DPS Site Plan Enforcement Inspector. A copy of the Certified Site Plan is required to be on-site at all times. To schedule a Site Plan Inspection with DPS, Zoning and Code Compliance Section (2025), please contact Brian Keener, 240-581-4465.

SITE DATA

Existing Parcel Area:	450 AC (Proposed Parcel 15')
Legal Description:	Part of Ex. Parcel K (Prop. Parcel 15') Tax ID: 3046710 CR10, B, C-2, R-05, H-057 (Commercial Residential Town)
Existing Zoning:	CR10, B, C-2, R-05, H-057 (Commercial Residential Town)
Existing Use:	Vacant
Proposed Use:	Adequately Filing Station (500 SF)
Proposed Development:	Standard Method, General Building Type
Development Program:	Single Phase
Conditional Use Area:	12,000 SF (0.26 AC)

SHEET SCHEDULE

SHEET NO.	SHEET TITLE
1	COVER SHEET
2	APPROVAL SHEET
3	CONDITIONAL USE PLAN
4	SITE DETAILS SHEET
5	LANDSCAPE PLAN AND DETAILS
6	LIGHTING PLAN

EXISTING UTILITIES NOTES

- UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM AVAILABLE RECORDS. THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAND DIG TEST PITS AT ALL UTILITY CROSSINGS TO DETERMINE THE EXACT LOCATION AND DEPTH WELL IN ADVANCE OF CONSTRUCTION.
- FOR HANDING LOCATION OF EXISTING UTILITIES NOTIFY THE UTILITY OF CROSSING CITY OR AGENCY PRIOR TO ANY WORK. OUTCROP, LITTLE A PREFER P.A. SHALL BE NOTIFIED IMMEDIATELY OF ANY AND ALL UTILITY INTERFERENCES.
- FOR FIELD LOCATION OF GAS LINE SERVICES, PLEASE NOTIFY WASHINGTON GAS LIGHT CO. 703-760-0000. AS HOUSING PROCEED TO THE STREET OF THE LOCATION OF CONSTRUCTION.
- CONTRACTOR AVOIDS ANY EXISTING UTILITIES ROAD DRAINAGE CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF ANY CONTRACTOR TO DETERMINE THE LOCATION OF ANY EXISTING UTILITIES. CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY OF ANY AND ALL UTILITY INTERFERENCES.
- DUE TO THE PROXIMITY OF LIVE UNDERGROUND AND OVERHEAD UTILITIES, WE ARE NOT RESPONSIBLE FOR ANY DAMAGE OR INJURY CAUSED BY ANY CONSTRUCTION BY ANY TRUCKS, TRAILERS, OR EQUIPMENT USED ON OR ABOUT THE SITE.

LEGEND

	EX. CONTOUR
	PROP. CONTOUR
	EX. BUILDING
	PROP. BUILDING (NON-RESIDENTIAL)
	EX. STREET
	EX. CARP
	PROP. CARP
	PROP. LOT LINE (FROM CURB)
	PROP. LOT LINE (FROM DRIVEWAY)
	EX. SIDEWALK
	PROP. CONC. SIDEWALK
	EX. SIDEWALK
	EX. SEWER
	PROP. SEWER
	EX. WATER
	EX. STORM DRAIN
	PROP. STORM DRAIN
	PROP. LIMIT OF DISCREPANCY
	EX. OVER REAR YARD
	EX. FENCE
	SOL. DELINEATION
	SLOPES 20% OR GREATER
	EX. ELECTRIC (UNDERGROUND) PAVING SPACES
	EX. UTILITY POLE
	EX. LIGHT POLE
	PROP. LIGHT POLE
	LIMIT OF CONDITIONAL USE

PROFESSIONAL CERTIFICATION

I hereby certify that to the best of my knowledge, information and belief that the plan shown hereon is true and correct, has been prepared in accordance with the Zoning Regulations of Montgomery County, Maryland. I hereby certify that these plans were prepared or approved by me, and that I am a duly trained Professional Engineer under the laws of the State of Maryland.

License No. 29814
Expiration Date: January 30, 2026

August 1, 2024
Date

Th Longfellow
Professional Engineer
Galewitz, Little & Peffer, P.A.
Conditional Use Plan No. CU2025-02

GLW

2024 NATIONAL OFFICE | 1511 E. 2101 | SUITE 100 | B.L.L.E. | MD 20886 | GAITHERSBURG, MD
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REVISION	DATE	REVISION	BY	APPV.
KAB				
KAB				
20250717				

<p>PREPARED FOR:</p> <p>CTC Retail, L.C. c/o Elm Street Development 1000 S. Second Street Sunbury, PA 17201 Attn: Kathryn L. Kubit 703-734-9730</p>	<p>SCALE</p> <p>1"=100'</p>	<p>ZONING</p> <p>CR-0, R-05, H-057</p>	<p>DATE</p> <p>EW-42</p>	<p>TAX MAP - ORD</p>	<p>COLESVILLE ELECTION DISTRICT NO. 05</p>	<p>COVER SHEET</p> <p>CLARKSBURG TOWN CENTER WEIS GAS PUMPS Parcel S EX. Parcel K-15 (0.26 AC)</p>	<p>G. L. W. FILE NO.</p> <p>23136</p>	<p>SHEET</p> <p>1 OF 5</p>
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