

**GENERAL NOTES**

- 1) WATER CATEGORY - 1 SEWER CATEGORY - 1
- 2) BOUNDARY INFORMATION BASED ON A SURVEY CONDUCTED BY JNM ENGINEERING, LLC DATED AUGUST, 2023.
- 3) TWO-FOOT CONTOUR DATA BASED ON A SURVEY CONDUCTED BY JNM ENGINEERING DATED AUGUST, 2023.
- 4) TOTAL PARCEL AREA: 38,900SF±, TAX ID 12-00930906, PARCEL N819.
- 5) PROPERTY SHOWN ON TAX MAP FX43.
- 6) PROPERTY SHOWN ON HSSC 200' SHEET 237N410.
- 7) ONSITE SOILS CONSIST OF 9B, SEE SOILS TABLE ON THIS SHEET.
- 8) FLOOD ZONE "X" PER CURRENT F.E.M.A. FIRM MAP.
- 9) PROPERTY IS LOCATED WITHIN THE UPPER GREAT SENECA WATERSHED (USE I-P)
- 10) NO STREAMS, WETLANDS, OR THEIR ASSOCIATED BUFFERS ARE LOCATED ONSITE.
- 11) NO CULTURAL OR HISTORICAL FEATURES EXIST ONSITE BASED ON A SITE INSPECTION CONDUCTED BY JNM ENGINEERING.
- 12) THIS PROPERTY IS NOT LOCATED WITHIN AN SPA OR PHA.
- 13) THIS PROPERTY IS ZONED CRT-1.75, C-1.0, R-0.75, H-55T.

**SWM COMPUTATIONS**

TOTAL AREA OF SITE: 38,900SF (0.893 ACRES)  
 EXISTING ONSITE SOIL TYPE B  
 EXISTING IMPERVIOUS AREA: 34,757SF (0.798 ACRES)  
 % IMPERVIOUS AREA: 89.3% (REDEVELOPMENT CRITERIA APPLIES)  
 USING REDEVELOPMENT CRITERIA, 50% OF THE EXISTING IMPERVIOUS AREA WITHIN THE LOD HAS TO BE TREATED FOR 1" OF RUNOFF. ALL ADDITIONAL IMPERVIOUS AREA ONSITE MUST MEET FULL STORMWATER MANAGEMENT.  
 PROPOSED SITE IMPERVIOUS: 34,976SF (0.80 ACRES)  
 NEW PROPOSED IMPERVIOUS AREAS: 2195F (0.005 ACRES)  
 EXISTING IMPERVIOUS AREA TO BE TREATED: 34,757SF / 2" = 17,378SF  
 WATER QUALITY REQUIRED: (17,378 (0.951)/12" = 1,365CF  
 TREATMENT FOR NEW IMPERVIOUS AREA: (2195 (0.952)/12" = 145CF  
 TOTAL ONSITE SWM OBLIGATION: 1,375CF + 145CF = 1,420CF

PROPOSED SWM:  
 A STORMCEPTOR WILL BE UTILIZED AS THE ONSITE SWM OBLIGATION ONLY REQUIRES WATER QUALITY. BY USING STORMCEPTOR MODEL STC 4501 THE SWM OBLIGATION OF 1,420CF CAN BE UTILIZED BY FILTERING THE WATER QUALITY DISCHARGE RATE OF 0.56CFS (CALCULATED WATER QUALITY STORM RUNOFF USING APPENDIX D-10 IN MDE SWM MANUAL).  
 $Q_p = q_u \times DA \times Q_a \times Q_g = 0.56CFS$   
 $Q_u = 950$  (TR-55 Exhibit 4-II)  
 $DA = 0.45$  Acres  
 $Q_a = 0.84$  inches

**SITE LIGHTING NOTES**

1. EXISTING LIGHT ALONG THE FRONTAGE OF THE PROPERTY TO REMAIN. EXISTING FIXTURES ARE CREE BRAND OSO SERIES C FIXTURES ON 14-FOOT POLES. FIXTURES ARE FULL CUTOFF, DIRECT AND ADJUSTABLE ARM MOUNTS, 4,000-16,000 LUMENS.
2. EXISTING LIGHTING LOCATED ONSITE (INTERNAL TO SITE) SHALL BE POINTED DOWNWARD AND PARALLEL WITH EXISTING GRADE. MINOR ANGLE ADJUSTMENTS SHALL BE INTERIOR FACING TO AVOID LIGHT TRESPASS OR GLARE INTO/OVER ADJOINING PROPERTIES.
3. EXISTING PERIMETER LIGHTING WITH ADJUSTABLE ARMS SHALL BE INWARD FACING WITH NO MORE THAN A 45 DEGREE ANGLE. ALL ANGLE LIGHTING SHALL BE INTERIOR FACING.
4. GLARE SHALL NOT BE VISIBLE FROM ADJOINING PROPERTIES.
5. WALL MOUNT LIGHTING SHALL BE PARTIALLY SHIELDED TO ELIMINATE VERTICAL GLARE AND GLARE INTO ADJOINING PROPERTIES.

**SITE LANDSCAPING NOTES**

1. SITE LANDSCAPING SHALL BE PROVIDED ALONG THE PERIMETER AND FRONTAGE OF THE PROPERTY. LANDSCAPING SHALL INCLUDE THE FOLLOWING:  
 A. SOUTHERN BOUNDARY LINE ADJOINING MONTGOMERY COUNTY PROPERTY:  
 i. AN EXISTING BLOCK LANDSCAPE WALL WITH LANDSCAPE PLANTING ABOVE SHALL REMAIN. EXISTING SPECIES INCLUDE BOXWOOD AND BARBERY SHRUBS.  
 ii. 4-FOOT FENCING SHALL BE PROVIDED ALONG THE TOP OF THE PROPOSED RETAINING WALL FOR SAFETY AND SCREENING. FENCING SHALL BE SOLID WHITE VINYL OR EQUIVALENT.  
 B. SOUTHERN BOUNDARY LINE ALONG THE EXISTING WATER TOWER SITE:  
 i. THERE IS AN EXISTING OFFSITE BERM AND NATURAL VEGETATION ALONG THE ENTIRETY OF THIS PROPERTY LINE THAT SHALL REMAIN UNDISTURBED.  
 C. NORTHERN PROPERTY LINE ALONG THE EXISTING RETAIL/COMMERCIAL PROPERTY (10000 DAMASCUS BLVD):  
 i. THERE IS AN EXISTING STRIP OF NATURAL VEGETATION ALONG THE SOUTHER PORTION OF THIS PROPERTY THAT SHALL REMAIN.  
 ii. THE SECTION OF PROPERTY LINE BETWEEN THE EXISTING OFFSITE BUILDING (10000 DAMASCUS BLVD.) AND MD ROUTE 27 SHALL BE PLANTED WITH EVERGREEN SHRUBS (MOUNTAIN LAUREL, KNOCKOUT ROSE, RED THIG DOGWOOD, AND VIRGINIA SWEETSPIRE).  
 D. PROPERTY FRONTAGE ALONG MD ROUTE 27:  
 i. THE FRONTAGE OF THIS PROPERTY SHALL BE PLANTED AS SHOWN ON THIS SITE PLAN.

**LANDSCAPE SCHEDULE**

| SYMBOL | QUANTITY | SPECIES             | SIZE  | COMMENTS |
|--------|----------|---------------------|-------|----------|
|        | 12       | RED THIG DOGHOOD    | 4'-5' | CONT.    |
|        | 10       | MOUNTAIN LAUREL     | 2'-3' | CONT.    |
|        | 9        | KNOCKOUT ROSE       | 2'-3' | 3 GAL.   |
|        | 9        | VIRGINIA SWEETSPIRE | 2'-3' | CONT.    |

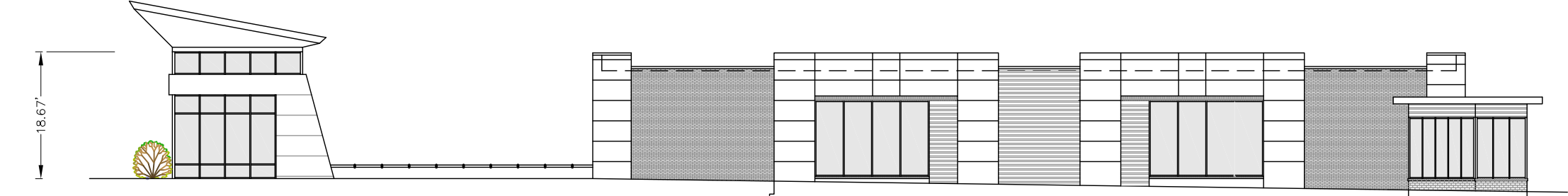
Exhibit 11  
 OZAH Case No: CU 25-03



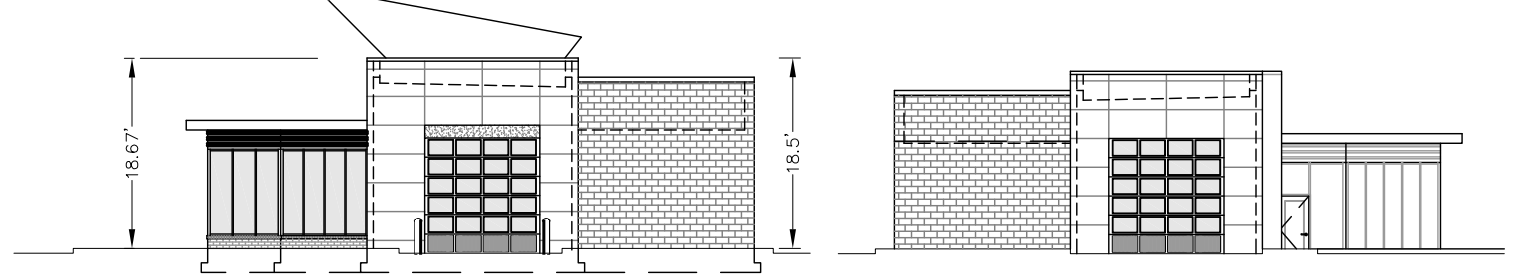
EAST ELEVATION

**SOILS DATA TABLE**

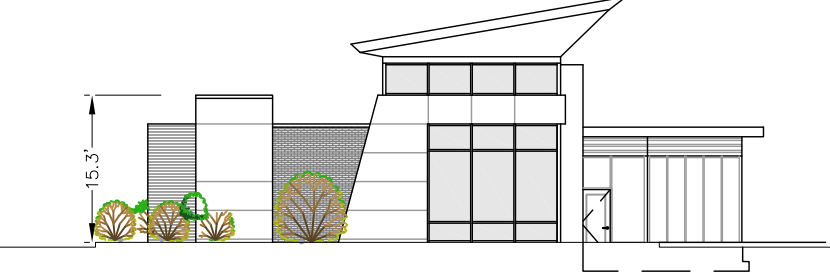
| SYMBOL | SOIL                     | HYDRIC | PRIME FARMLAND | HIGHLY ERODIBLE | SERPENTINITE | HSG |
|--------|--------------------------|--------|----------------|-----------------|--------------|-----|
| 9B     | LING.-HYATTSTOWN CHAN SL | NO     | NO             | NO              | NO           | C   |



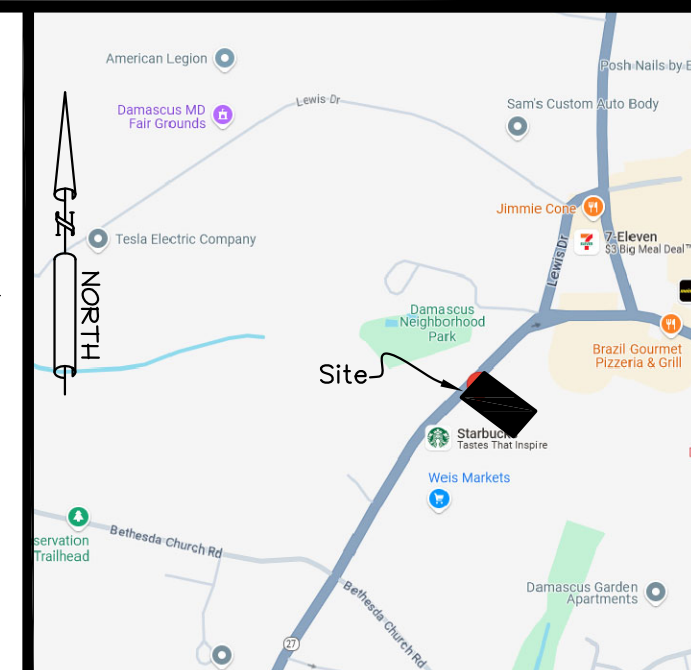
WEST ELEVATION



SOUTH ELEVATION



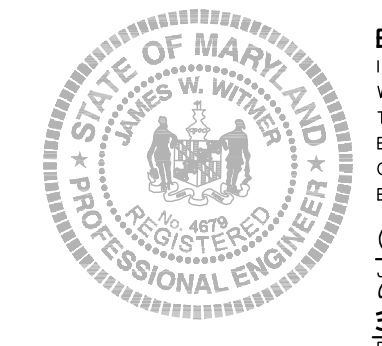
NORTH ELEVATION



VICINITY MAP  
 SCALE: 1" = 200'

**LEGEND**

- EXISTING FEATURES**
- EXISTING CURB & GUTTER
  - EXISTING CONTOUR
  - EXISTING PROPERTY LINE
  - EXISTING EASEMENT
  - EXISTING WATER
  - EXISTING SEWER
  - EXISTING GAS
  - EXISTING STORMDRAIN
  - EXISTING ELECTRIC
  - EXISTING UTILITY POLE
  - EXISTING SEWER MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER VALVE
  - EXISTING SPOT ELEVATION
- PROPOSED FEATURES**
- PROP. CURB & GUTTER
  - PROPOSED CONTOUR
  - PROPOSED PROPERTY LINE
  - PROPOSED EASEMENT
  - BUILDING RESTRICTION LINE
  - PROPOSED WATER
  - PROPOSED SEWER
  - PROPOSED GAS
  - PROPOSED STORMDRAIN
  - PROPOSED SPOT ELEVATION

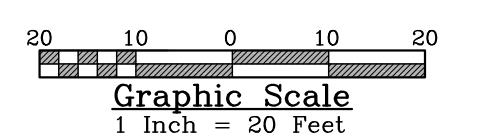


**ENGINEERS CERTIFICATION:**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 46791, EXPIRATION 6/07/2025.  
 Jim Witmer  
 JAMES WITMER, P.E.  
 3/24/24  
 DATE

**ROADSIDE TREE NOTE**

THERE ARE NO PROPOSED DISTURBANCES TO ROADSIDE (R/W) TREES OR THEIR CRITICAL ROOT ZONES.

**OWNER / DEVELOPER:**  
 Joe Schiattareggia  
 3401 Branch Avenue  
 Temple Hills, MD 20748  
 301-802-7797  
 joe@comcarwash.com



**SHEET INDEX**

| SHEET# | SHEET TITLE |
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DATE BY REVISION

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**JNM ENGINEERING, LLC**  
 CIVIL ENGINEERING, SURVEYING, LAND PLANNING, ENVIRONMENTAL, ARBORICULTURE, LEED PROFESSIONALS  
 1105 LEAFY HOLLOW CIRCLE, MOUNT AIRY, MD 21771  
 (301) 514-2808, JNMENGINEERINGLLC.COM

**CONDITIONAL USE PLAN**

MONTGOMERY COUNTY

PARCEL A, PLAT 12452, PLAT OF DAMASCUS  
 26201 RIDGE ROAD  
 TAX MAP FX43, PARCEL A, ZONING: CRT1.75, C1.0, R0.75, H55T, 12TH ELECTION DISTRICT, 38,900 SQUARE FEET  
 DAMASCUS, MONTGOMERY COUNTY, MARYLAND

DATE: NOV., 2022 SCALE: 1"=20' SHEET 1 OF 1

CALL "MISS UTILITY" AT 1-800-257-7777 36 HOURS BEFORE THE START OF ANY CONSTRUCTION ACTIVITIES  
 THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES.