

GENERAL NOTES

- 1) WATER CATEGORY - 1 SEWER CATEGORY - 1
- 2) BOUNDARY INFORMATION BASED ON A SURVEY CONDUCTED BY JNM ENGINEERING, LLC DATED AUGUST, 2023.
- 3) TWO-FOOT CONTOUR DATA BASED ON A SURVEY CONDUCTED BY JNM ENGINEERING DATED AUGUST, 2023.
- 4) TOTAL PARCEL AREA: 38,900SF±, TAX ID 12-00930906, PARCEL N819.
- 5) PROPERTY SHOWN ON TAX MAP FX43.
- 6) PROPERTY SHOWN ON HSSC 200' SHEET 237N410.
- 7) ONSITE SOILS CONSIST OF 9B, SEE SOILS TABLE ON THIS SHEET.
- 8) FLOOD ZONE "X" PER CURRENT F.E.M.A. FIRM MAP.
- 9) PROPERTY IS LOCATED WITHIN THE UPPER GREAT SENECA WATERSHED (USE I-P)
- 10) NO STREAMS, WETLANDS, OR THEIR ASSOCIATED BUFFERS ARE LOCATED ONSITE.
- 11) NO CULTURAL OR HISTORICAL FEATURES EXIST ONSITE BASED ON A SITE INSPECTION CONDUCTED BY JNM ENGINEERING.
- 12) THIS PROPERTY IS NOT LOCATED WITHIN AN SPA OR PMA.
- 13) THIS PROPERTY IS ZONED CRT-1.75, C-1.0, R-0.75, H-55T.

SWM COMPUTATIONS

TOTAL AREA OF SITE: 38,900SF (0.893 ACRES)
 EXISTING ONSITE SOIL TYPE B
 EXISTING IMPERVIOUS AREA: 34,759SF (0.798 ACRES)
 ¾ IMPERVIOUS AREA: 89.3% (REDEVELOPMENT CRITERIA APPLIES)
 USING REDEVELOPMENT CRITERIA, 50% OF THE EXISTING IMPERVIOUS AREA WITHIN THE LOD HAS TO BE TREATED FOR 1" OF RUNOFF. ALL ADDITIONAL IMPERVIOUS AREA ONSITE MUST MEET FULL STORMWATER MANAGEMENT.

PROPOSED SITE IMPERVIOUS: 34,976SF (0.80 ACRES)
 NEW PROPOSED IMPERVIOUS AREAS: 2195F (0.005 ACRES)

EXISTING IMPERVIOUS AREA TO BE TREATED: 34,759SF / 2 = 17,379SF
 WATER QUALITY REQUIRED: (17,379x 0.95x1.0)/12 = 1,375CF
 TREATMENT FOR NEW IMPERVIOUS AREA: (2195x0.95x2.6)/12 = 45CF
 TOTAL ONSITE SWM OBLIGATION: 1,375CF + 45CF = 1,420CF

PROPOSED SWM:
 A STORMCEPTOR WILL BE UTILIZED AS THE ONSITE SWM OBLIGATION ONLY REQUIRES WATER QUALITY. BY USING STORMCEPTOR MODEL STC 4501 THE SWM OBLIGATION OF 1,420CF CAN BE UTILIZED BY FILTERING THE WATER QUALITY DISCHARGE RATE OF 0.56CF5 (CALCULATED WATER QUALITY STORM RUNOFF USING APPENDIX D-10 IN MDE SWM MANUAL).

Op= q_u x DA x Q_a = 0.56CF5
 Q_u = 950 (TR-55 Exhibit 4-II)
 DA= 0.45 Acres
 Q_a = 0.84 inches

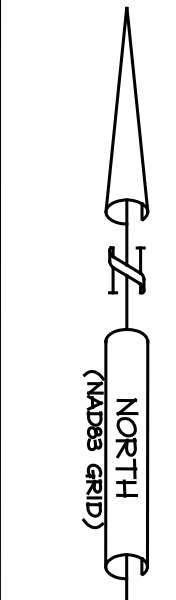


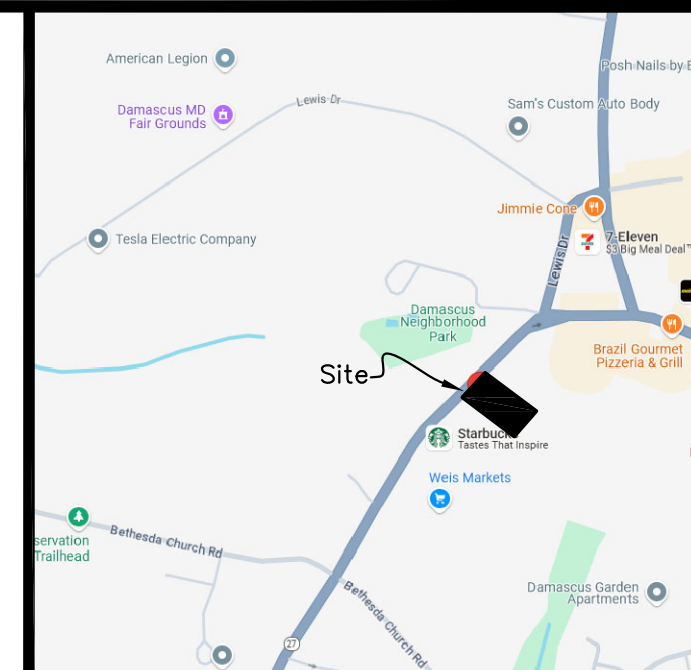
Exhibit 12
 OZAH Case No: CU 25-03

SWM Concept Summary Table: Each line must be completed. Place table on the first sheet with initial submission.

Contact information for Design Engineer (for technical issues): JNM Engineering, LLC (Attn: Jim Witmer) 301-514-2808, jim@jnmengineeringllc.com

General Property Information: Existing PNC Bank Site

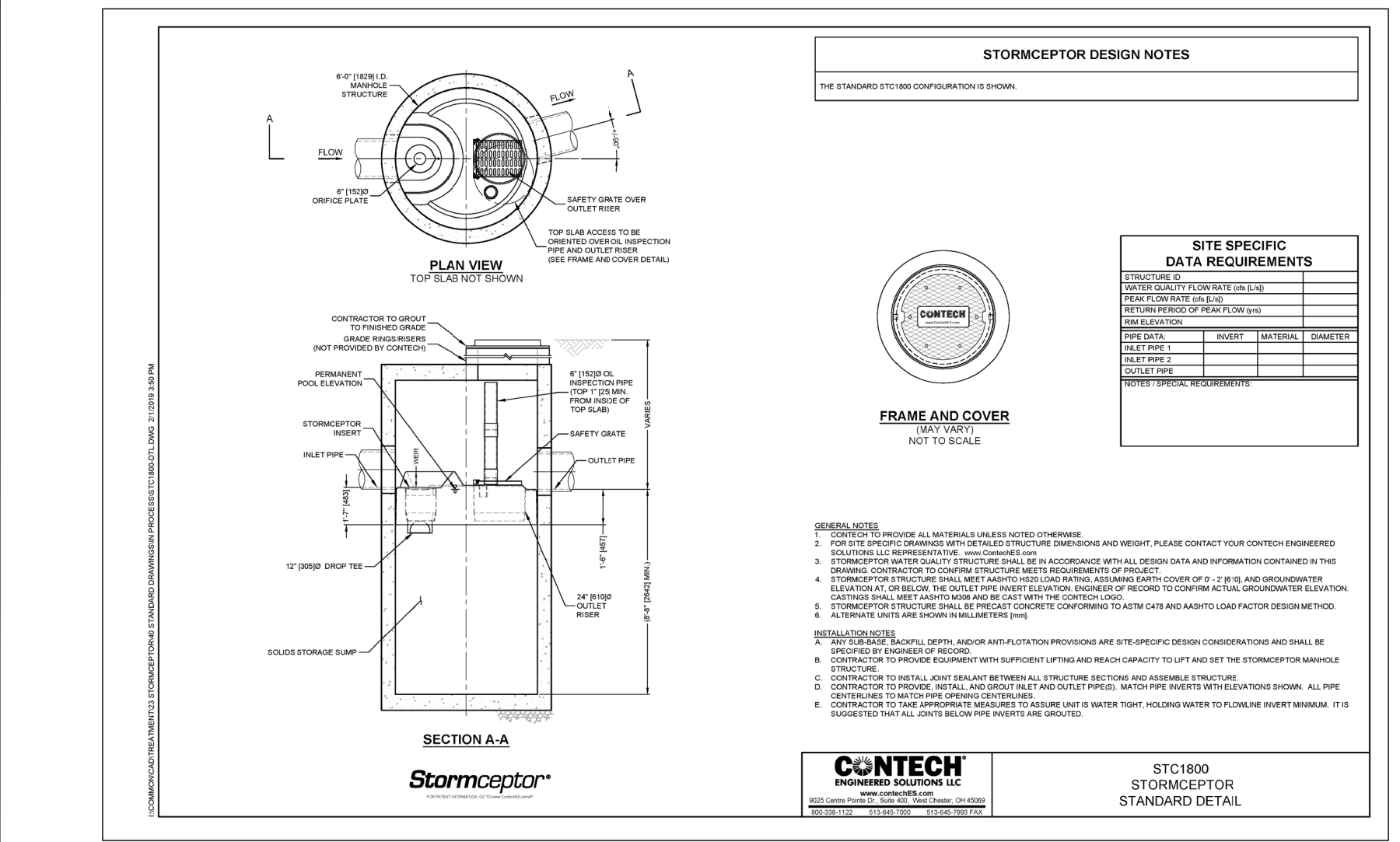
SMM	Stormwater Management Concept Plan
Type of Concept	Stormwater Management Concept Plan
MNC/PCF Process/No:	Conditional Use
Property Address:	26203 Ridge Road, Damascus MD
Property Legal Description:	Parcel A, Plat 12452 (Plat of Damascus), Tax Map FX43
Property Size (ac./sq.ft.):	0.893 Acres, 38,900 square feet
Total Concept Area (ac./sq.ft.):	0.86 Acres, 28,733 Square Feet
Zoning:	CRT-1.75, C1.0, R0.75, H-55T
Watershed(s) and Stream Class:	Upper Great Seneca Watershed (Use I-P)
Special Protection Area:	Not in SPA
100 YR Floodplain:	Not in Floodplain (Zone AE FEMA Map Panel 24031C0605D)
SWM Summary:	If more than one study point or lot, provide information for each
Target P ₁ /Proposed P ₁ :	1" for 50% of existing impervious area
Target ESD/Provided ESD:	1,420 cu.ft.
ESD Measures:	Stormceptor (approved by MDE as stand alone water quality device)
Structural Storage Required/Provided:	None, Water Quality treated at Water Quality Discharge Rate of 0.56cf5.
Structural Measures:	Stormceptor STC 4501
Waiver Request/QL/QN/Both:	No
Provided ESD + Structural Storage Provided + Requested to be Waived:	1,420 cu.ft.
Other Information:	Redevelopment Site



VICINITY MAP
 SCALE: 1" = 2000'

LEGEND

- EXISTING FEATURES**
- EXISTING CURB & GUTTER
 - EXISTING CONTOUR
 - EXISTING PROPERTY LINE
 - EXISTING EASEMENT
 - EXISTING WATER
 - EXISTING SEWER
 - EXISTING GAS
 - EXISTING STORMDRAIN
 - EXISTING ELECTRIC
 - EXISTING UTILITY POLE
 - EXISTING SEWER MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - EXISTING SPOT ELEVATION
- PROPOSED FEATURES**
- PROP. CURB & GUTTER
 - PROPOSED CONTOUR
 - PROPOSED PROPERTY LINE
 - PROPOSED EASEMENT
 - BUILDING RESTRICTION LINE
 - PROPOSED WATER
 - PROPOSED SEWER
 - PROPOSED GAS
 - PROPOSED STORMDRAIN
 - PROPOSED SPOT ELEVATION



CALL "MISS UTILITY" AT
 1-800-257-7777
 36 HOURS BEFORE THE START OF
 ANY CONSTRUCTION ACTIVITIES

THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES.

SOILS DATA TABLE

SYMBOL	SOIL	HYDRIC	PRIME FARM/LAND	HIGHLY ERODIBLE	SERPENTINITE	HSG
9B	LING.-HYATTSTOWN CHAN SL	NO	NO	NO	NO	C

DATE BY REVISION

JNM ENGINEERING, LLC
 CIVIL ENGINEERING, SURVEYING, LAND PLANNING,
 ENVIRONMENTAL, ARBORICULTURE, LEED PROFESSIONALS
 1105 LEAFY HOLLOW CIRCLE, MOUNT AIRY, MD 21771
 (301) 514-2808, jnmengineeringllc.com

SHEET INDEX

SHEET#	SHEET TITLE

STORMWATER MANAGEMENT CONCEPT PLAN
 MONTGOMERY COUNTY
 PARCEL A, PLAT 12452, PLAT OF DAMASCUS
 26201 RIDGE ROAD
 TAX MAP FX43, PARCEL A, ZONING: CRT1.75, C1.0, R0.75,
 H55T, 12TH ELECTION DISTRICT, 38,900 SQUARE FEET
 DAMASCUS, MONTGOMERY COUNTY, MARYLAND

DATE: NOV., 2022 SCALE: 1"=20' SHEET 1 OF 1

ENGINEERS CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 46791, EXPIRATION 6/07/2025.

JAMES WITMER, P.E.
 3/24/24
 DATE

ROADSIDE TREE NOTE
 THERE ARE NO PROPOSED DISTURBANCES TO ROADSIDE (R/W) TREES OR THEIR CRITICAL ROOT ZONES.

OWNER / DEVELOPER:
 Joe Schiattoreggia
 3401 Branch Avenue
 Temple Hills, MD 20748
 301-802-7797
 joe@comcast.com

Graphic Scale
 1 Inch = 20 Feet